



Waldorf Urban Redevelopment Corridor (WURC)

Façade Improvement Program (FIP)

Guidelines

The following are design guidelines from Charles County's [Downtown Waldorf Vision and Design Guidelines Plan](#).

The County's vision for Downtown Waldorf is to establish an urban-scaled community and identifiable sense of place in the traditional heart of Waldorf. To develop an attractive, pedestrian friendly built environment, and promote foot traffic to existing business and properties.

These design guidelines provide guidance for both public and private sector investment and development activity in the area covered by the Downtown Waldorf Vision Plan. The Design Guidelines are intended to strengthen the physical and economic character of the area by promoting and encouraging consistent design quality.

These guidelines are flexible in design and construction to encourage quality development within Downtown Waldorf.

These design guidelines will guide the preparation and review of application proposals. These guidelines are intended to describe appropriate treatment for new structures, outdoor spaces, and enhancement of existing buildings.

The guidelines provide design standards and solutions to meet the goals. Applications for Façade Improvements approval shall comply with these guidelines.

There are three categories for the guidelines:

1. **Mandatory:** Compliance is required unless strong justification is presented for alternative designs. Justification should include site constraints that prevent compliance, in concert with design solutions that meet the intent of the standard to the greatest extent possible.
2. **Recommended:** The greatest number of standards fall into this category. Development proposals should comply with these standards. A property owner or developer may propose alternative design solutions that provide the same or a better result than would be achieved through strict adherence to the standard. Alternative designs must indicate why full compliance is not feasible or how the design better accomplishes the goals and intent of the guidelines.
3. **Optional:** Optional guidelines suggest enhancements for structure or site design.

WURC Design Guidelines

The following guidelines are geared towards façade improvements for both existing residential and commercial buildings.

I. General Architectural Standards

Exterior Wall Building Materials

Unified, harmonious building exteriors are important to achieve the building quality desired throughout Downtown Waldorf.

General Exterior Wall Building Materials Guidelines for the overall Waldorf Downtown:

- **Mandatory Standards:**
 - For façade walls, use high-quality construction techniques and structural constraints, and long-lasting building materials.
- **Recommended Standards:** The recommended design standards of the Waldorf Urban Redevelopment Corridor suggest:
 - Compose the exterior building skin of one dominant facing material with one or two additional materials as accents.
 - Use the dominant material on at least 60% of any elevation. Do not use more than three facing materials in addition to glass for a building.
 - If the building's façade is complicated with many design features, use a simple, subdued wall texture. If the façade design is simple, a finely textured material, such as patterned masonry, can be used.
 - Use building materials appropriate to the scale and massing of the building (e.g., smaller masonry units on buildings four stories and lower and larger masonry units on buildings over four stories).
 - The following materials are recommended as dominant building materials:
 - Masonry brick, natural stone or architectural pre-cast stone or concrete.
 - Steel or aluminum posts and railings.
 - Natural hardwood clapboard siding, posts, railings.
 - Cementitious clapboard siding.
 - 100% recycled building products, e.g., metals, lumber, plastics, etc.
 - Clear or light shade tinted window glazing.
 - The following materials are not recommended as dominant building materials:
 - Aluminum or vinyl siding (generally acceptable only in single-family attached areas on garages and on rear and side yard facades not facing a public street).
 - Reflective glass curtain walls or reflective/ mirrored glazing in general.

- Concrete Masonry Units (CMU): Unfinished and painted CMUs are not recommended as the finished exterior surface of a building, wall or fence; however, decorative CMUs (e.g., split face, glazed, etc.) may be used for commercial or civic buildings.
 - Unfinished pressure treated wood products.
 - The following materials are appropriate accent building materials for trim and cornice elements, beams, lintels, piers, foundation walls, chimneys, and ornamentation:
 - Gypsum Reinforced Fiber Concrete (GFRC).
 - Architectural Pre-cast Stone.
 - Stainless, Galvanized, or Corrugated Steel.
 - Sheet Aluminum.
 - Architectural Glass Block.
 - Sheet Aluminum or Architectural Pre-cast Stone used more than 15%, but not exceeding 50% should be used only in institutional buildings.
 - Stucco or EIFS system finishes may be used as secondary materials but should not be greater than 25% of a single façade wall.
 - Use clear or light shade tinted glazing materials on window surfaces. Frosted window glazing may be used to provide ornamentation or signage on a storefront window or door; however, it should not obscure more than 20% of the window's surface area.
 - Clad the exposed ends of unit and foundation walls in brick, natural stone, stucco or high-quality finishing material.
 - For dormers, chimneys and other items extending above the roofline, use the same color and materials used in the building's façade.

Exterior Wall Building Materials Guidelines Specific to Waldorf Central District

- **Mandatory Standards:**
 - Use traditional materials to reinforce the “Old Waldorf” theme within the Waldorf Central District.
 - Masonry is the preferred dominant material for all buildings, with the exception of commercial office or civic buildings that may be of pre-cast materials.
 - Materials such as stone or glazing finish may be acceptable for certain applications.
- **Recommended Standards:**
 - Use predominantly brick, stone, architectural stone pre-cast, cementitious siding, clay tile, stucco/EIFS or other architecturally indigenous building materials with traditional color palette.

- For commercial buildings, use a masonry envelope along the ground floor with masonry, stucco or EIFS on the upper levels. Residential units should be mainly masonry and wood frame structures with varying types of cladding (e.g., wood shingle/clapboard, cementitious clap board, stone or brick).

Sample building materials not appropriate in Downtown Waldorf are illustrated below

The following photos are samples of *exterior wall building materials* that are not appropriate in Downtown Waldorf.



Curtain wall or reflective/mirrored glazing façade are not appropriate as a predominant building façade.



Corrugated Metal siding is not appropriate as a predominant building façade.



Sheet Aluminum or metal cladding façades are not appropriate as predominant building façade.



Exposed steel structure façades are not appropriate as a predominant building façade.

Facade Color

The use of color on a building façade is important to the overall composition and streetscape environment. Following are guidelines for color.

- **Recommended Standards:**
 - Use one dominant color comprising over 60% of the building elevation and 2 accent colors.
 - Do not use black and bright primary colors for the dominant material as they provide too high a contrast to other development in the area. Using these colors would create unintended focal points that cause confusion and detract from the aesthetic experience.
 - Glazing – No reflective, mirrored, dark shade tinted, bronze, and/or gold glass.
 - Within each parcel, use compatible, coordinated color schemes.
 - Indicate the color of materials on plan submissions.

Balconies

Balconies provide the opportunity for outdoor uses and animation above the street level and add visual relief to buildings. The following guidelines describe elements of balconies that will enhance a building's façade:

- **Mandatory Standards:**
 - When balconies are included, they should be designed to complement the overall building façade and be proportionate to the building window and door openings they relate to and serve.
 - Do not use exposed pressure treated wood balconies. Wooden balconies should be painted, stained, or clad with an approved decorative fascia material.

Sample balconies appropriate for Downtown Waldorf area are illustrated below.

The following photos are samples of *balconies* that are appropriate in Downtown Waldorf.



Balconies for commercial buildings can fenestrate the façade and encourage additional street life.



Balconies for residential buildings should be adequately sized for use, but not used for outdoor storage.

Shutters

- **Recommended Standards:** Use shutters only on residential structures. Install shutters of wood or metal that are operable and fit the opening to which they are adjacent.

Roof Treatments

- **Recommended Standards:** The recommended design standards of the Waldorf Urban Redevelopment Corridor suggest:
 - Cornice lines of new buildings (the horizontal rhythm element) should complement buildings on surrounding properties to maintain continuity.
 - Do not use roof pitches that create overly prominent or out-of-character buildings (e.g., A-frames, geodesic domes, or chalet style buildings).
 - Place roof penetrations, such as a vent or skylight, on rear roof slopes.
 - Clad roofs in natural or synthetic slate, architectural fiberglass shingles, or heavyweight composition shingles. Standing seam metal roofs may be used if appropriate to the architectural design. Place vent pipes away from the street side with the color matching those of the roof or building element to which they are attached
 - Design dormers' roofs and windows with forms and details that match proportionately with the main structure roof.
 - Place chimneys to conform to local architectural precedents and to reflect the symmetrical balance of the building form.
 - Center gable openings.
 - Gutters can be a metal ogee, half-round, or integral to the eave or cornice. Round or square downspouts should be used and held to the corners for a side gable or placed around the corner for hipped roofs. Tuck intermediate downspouts into an inside corner to minimize the impact on the design. If there is no inside corner, place a downspout at a logical division between two building segments.
 - In the case of high-rise structures and churches, some roof treatments such as a gable or spire are encouraged to add variety to the skyline.
 - Use a minimum roof pitch of 1:1, except on mixed-use and multi-family buildings, which may have either flat roofs or a minimum roof pitch of 1:2.

Sample roof treatments that are appropriate for Downtown Waldorf area are illustrated below.

The following photos are samples of *roof treatments* that are appropriate in Downtown Waldorf.



A pitch roof with dormer design proportioned to main structure of the



Flat roof and parapet treatments with cornices and trims are appropriate for



Variety in roof treatment provides visual interest to the skylines & fenestrate the monotonous façade.



Contemporary mansard roof helps reduce the visual scale of the buildings.



Proportionate symmetrical roof structure complements the overall symmetrical building form.



Massive contemporary roof treatments are not appropriate in Waldorf Downtown.

Rooftop Utilities

- **Mandatory Standards:**

- Integrate mechanical equipment with the building design. Screen and paint roof-mounted mechanical equipment to blend with the approved roofing color. Arrange equipment behind one parapet screen. At a minimum, a single continuous parapet wall without louvers or penetrations should be used to screen roof mechanical equipment from ground views.

Samples of inappropriate rooftop utility screenings to Downtown Waldorf Area are illustrated below.

The following photos are samples of *rooftop utilities* that are appropriate in Downtown Waldorf.



Inadequate parapet height exposes roof-mounted building/mechanical equipment.



Exposed air conditioning unit in residential building can simply be treated with additional railing/ screen.

II. Mixed-Use and Non- Residential Structures

This set of guidelines supplement the previous sections by addressing issues specifically related to commercial, office, mixed use, and institutional buildings.

The Building Base and Storefront

- The treatment of storefronts is critical to Downtown Waldorf's overall character and vibrancy. A storefront does not necessarily imply that a building has a retail commercial use; storefronts are simply the first-floor facade of a building that faces the street and connects with the sidewalk.
- Traditional storefront buildings can be small, individual, or mid-block structures that accommodate a single business or large buildings designed to provide space for two or more businesses separated by masonry columns or piers forming distinct storefront structural bays.

Sample commercial/mixed-use storefronts appropriate for the Waldorf Central District are illustrated below.

The following photos are samples of commercial/mixed-use storefronts that are appropriate in Waldorf Central District.



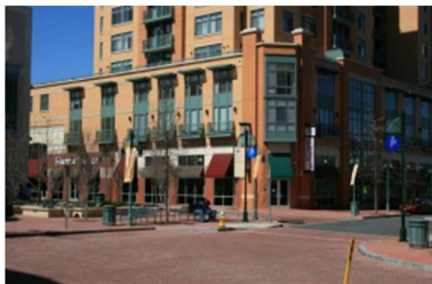
Typical commercial/mixed-use building and storefront envisioned for Waldorf Downtown District.



Well-designed and animated storefronts will be an integral part of the Waldorf Central Districts success.



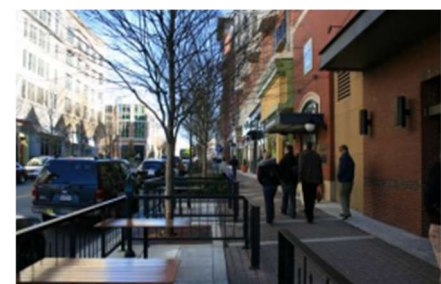
The ground-level storefront of a building should be designed in context with the street environment.



Sample of an appropriate storefront.



The ground-level storefront of a building should be designed in context with the street environment.



Streetscape can be designed to help animate the ground-level activities of a building.

Entries and Doorways

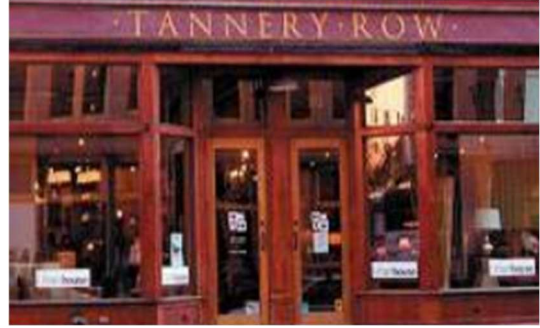
- **Recommended Standards:**
 - The main entry to a building should be emphasized at the street level in one or more of the following ways:
 - Planked columns, decorative fixtures or other details.
 - Recessed within a larger arched or cased decorative opening.
 - Covered by means of a portico (formal porch) projecting from or set into the building face.
 - Punctuated by means of a change in roofline, a tower, or a break in the surface of the subject wall.
 - Whenever possible, style and location of new doors should be similar to doors of adjacent buildings. The height-to-width ratio of door openings should be within 10% of the average of adjacent building's door openings.
 - For buildings situated at the corner of a public street, provide a prominent corner entrance to street level shops or lobby space in a manner consistent with main street entries, as described above.
 - Commercial storefront entries are typically recessed and/or sheltered by a covered arcade structure, canopy or awning. This provides more area for display space, a sheltered transition area to the interior of the store and emphasizes the entrance. Recessed entries are strongly encouraged, although overly deep entries (over 5') should be avoided for pedestrian safety/security and surveillance.

Sample traditional door & window materials and treatments appropriate for the Waldorf Central District are illustrated below.

The following photos are samples of *traditional door & window materials* that are appropriate in Waldorf Central District.



Sample of street front windows accommodating retail uses within residential character of existing building.



Retail windows with details compatible with existing architecture vernacular.



Recessed storefront entry addresses the corner of public streets and creates public space use.



Recessed storefronts create stronger visual interest along the street front.



Canopy storefront with special structure treatment creates stronger focal point along the street front.



Traditional storefront entry design within modern day building techniques.



Recessed storefronts create stronger visual interest along the street front.

Windows

Window treatments are a keyway to differentiate between the street level storefront and upper stories.

- **Mandatory Standards:**

- Provide at least 80 percent light transmission (clear glass) for the storefront window, including the glazed area of windows and doors.
- Provide greater window area at the storefront level, and smaller window openings, up to 40% of the façade, for upper stories.
- Storefront windows should be as large as possible and no closer than 18” from the ground (bulkhead height). This height is used to prevent someone from accidentally kicking a window by elevating the sills. By limiting the bulkhead height, the visibility to the storefront displays and retail interior is maximized. Limit bulkhead height for new construction to no higher than 36”.

- **Recommended Standards:**

- When an infill building is proposed between two adjacent commercial structures that contribute to the desired Waldorf Downtown character, maintain the characteristic rhythm, proportion and spacing of existing door and window openings. Window should be uniform along a building’s façade and aligned with an adjacent building’s windows.
- Upper story windows can create a sense of scale and add visual interest to the upper facade. The proportions of the windows, alignments and the rhythm of the window pattern should replicate the facade design of the immediate surrounding architecture as closely as possible.

Sample new storefront window materials and treatments appropriate for Downtown Waldorf are illustrated below.

The following photos are samples of windows that are appropriate in Downtown Waldorf.



Lower storefront windows should be larger than upper residential windows.



A hierarchy of windows and doors at both the lower & upper level creates symmetry.



Traditional & contemporary mixed-use building with large storefront and smaller residential windows.



Consistency in window rhythm and scale can create visual harmony among individual structures.



Dormers and eaves can be designed to align with an adjacent building opening and create inform façade.



Change of window type and size can be designed to help break the building mass and animate street life.

Awning and Canopies

The detailing of doors and windows can also contribute to the aesthetic experience.

- **Mandatory Standards:**

- Awnings should be of a durable, commercial grade fabric, canvas or similar material having a matte finish. Aluminum or metal awnings may also be used.
- Choose awning colors that complement the building they are intended to serve and the proposed street furnishings. Avoid bright and/or contrasting colors.
- When there are several businesses in one building, use awnings of a compatible color. Simple signs on the valance flap may vary in type style and color to differentiate the individual businesses within the building.
- Where the facade is divided into distinct structural bays (sections defined by vertical architectural elements, such as masonry piers), place awnings within the vertical elements rather than overlapping them. The awning design should respond to the scale, proportion and rhythm created by these structural bay elements and "nestle" into the space created by the structural bay.

- **Recommended Standards:**

- Construct awning frames and supports of painted or coated metal or other non-corroding material.
- Glossy or shiny plastic or similar awning material is not recommended.
- Relate awning shape to the window or door opening. Use barrel-shaped awnings to complement arched windows and square awnings for rectangular windows.
- Covered sidewalks or colonnades are encouraged. They must maintain a continuous area a minimum of 4' wide, cleared of covered structure and parallel to the edge of the covered sidewalk. Covered sidewalks must have appropriate interior clear height and width between the façade and the support post or column of covered structure.

Sample new storefront awning materials and treatments appropriate for Downtown Waldorf are illustrated below.

The following photos are samples of awning and canopies that are appropriate in Downtown Waldorf.



Awnings provide rhythm and activity at street level.



Awnings extended to cover sidewalks provide shading.



Awnings may be of fabric or metal design.



Shutter-like awning designs add variety to building textures and create sophisticated building character.



Contemporary awning design adds visual interest.

The Upper Façade

The upper façade of a building is distinct from the street-level storefront, and the design qualities differ. The upper façade consists of the following components:

The cornice and fascia that cap the building front.

- The building's upper stories.
- The windows, which provide articulation and interest to the upper architecture.
- The piers, which extend to the ground level to visually support the façade and frame the storefront.
- The roof tops and roof top utilities.

Piers

Piers can frame the storefront, visually anchor the upper façade and create the unified architectural framework that organizes the street level's visual diversity. Where piers have been eliminated or reduced, the architectural definition of the facade will be unclear and the upper architecture inadequately balanced.

- **Recommended standards:**
 - The pier's width and spacing should give support to the façade.
 - On wide buildings, piers that segment the storefront are recommended to improve proportional balance.
 - Treat piers with the same or a complementary surface material to the façade

Cornice and Fascia

A cornice or fascia creates a strong roofline, gives a finished appearance to the building façade, and provides a transition from the building to the building's backdrop.

- **Mandatory standards:**
 - Design the cornice or fascia to be in proportion with the overall mass of the building.

Roofs

- **Recommended standards:**
 - To avoid long expanses of unarticulated roofs, provide architectural articulation of roofs on commercial buildings at least every 20 linear feet. The articulation may consist of dormers, hip roofs, cupolas, gables, etc.
 - Roofs may be flat or sloped on non-residential structures.
 - Sheath visible portion of sloped roofs with a roofing material complementary to the architectural style of the building and surrounding buildings.
 - Flat roofs should have cornices and coping and should be enclosed by parapets a minimum of 42” high, or as required to conceal mechanical and utility equipment.
 - Pitched roofs, should be symmetrically sloped no less than 1:1. Shed roofs attached to the main structure or parapet top should be pitched no less than 1:1.

III. Architectural Standards for Residential Construction

This set of guidelines supplements the guidelines in the previous sections by addressing issues specifically related to this building type. Residential structures include townhomes, apartment buildings, and multi-family residential buildings as well as secondary structures such as garages, carriage houses, and sheds.

The architecture and urban design components for residential sites of Downtown Waldorf should embody the following:

Materials

- **Recommended Standards:**
 - Consider traditional materials such as brick, stone, slate, or clapboard for residential façades in Downtown Waldorf.
 - Material selection should reflect the overall development theme of each zoning district as described in Section 2.2. Also refer to Building Material Guidelines, Section 3.2.4.

Exterior Materials Colors

- **Recommended Standards:**
 - Muted colors are preferred for the background color of most buildings.
 - The use of one or two complementary accent colors for special features and trims such as ornamental details, windows sashes, and entrances is recommended.

- Retain the intrinsic color of unpainted surfaces, such as brick or stone masonry walls; however, concrete block foundations must be clad in brick, stone, pre-cast or patterned concrete.

Porches, Door Hoods, and Stoops

- **Recommended Standards:**

- Articulate entrances to residential units with a stoop, stairs and/or a covered porch.
- Front porches should be between 6' and 10' deep. The width of a porch should not be less than 50% of the building front facade.
- The style, material and scale of door hoods or entrance porches should be compatible with the style of the main structure.
- The scale and design of details such as steps and stoops, porch columns, balustrades, railings and handrails, and architectural lighting should be compatible in size, proportion, and design with the overall design of the building.
- Porch alterations and additions should complement the architecture of the building by using compatible materials, decorative details and construction techniques.
- Do not fully enclose a front porch for use as interior space.
- A front porch may be enclosed with translucent materials such as clear glass or screen provided that: 1) the enclosure maintains the existing porch structural details and materials, 2) added enclosure materials are recessed behind the existing porch structure to help maintain the open character of the porch, 3) 100% translucent material are used horizontally between original columns and vertically between top of railing and porch soffit (with allowance for minimal window framing).
- Side or rear porches may be enclosed for living space. Such enclosures should retain the details of the original porch.

Doors and Windows

- **Mandatory Standards:**

- Do not use blank lengths of wall exceeding 20 linear feet on new residential structures.
- Fenestration on all structure façades should comprise at least 30% of the façade area.
- The proportion, size and shape of windows and doors should be compatible with the overall façade proportion.

- **Recommended Standards:**
 - Window and door placement should replicate the horizontal lines of windows and doors of adjacent buildings that contribute to the character of Downtown Waldorf, to maintain continuity and rhythm between buildings.

Roofs

- **Recommended standards:**
 - Provide architectural articulation for residential roofs at least every 50 linear feet. The articulation may consist of dormers, hip roofs, cupolas, and gables.
 - Consider using dormers and/or chimneys to scale down the presence of single roof form and add visual interest to the building. Dormers and chimneys should be in proportion to the overall scale of the building.
 - Install gutters and downspouts on walls that are not visually prominent from public streets. If they must be installed on main building walls, they should be painted to match the color of adjacent building material.
 - Flat roofs are appropriate only for commercial use buildings and should be kept to a minimum. If a flat roof must be constructed on a portion of a residential structure, it should be capped with cornice, brackets or other ornamental details.

Chimneys

- **Mandatory standards:**
 - Chimneys should be finished of compatible material and designed in proportion to the architecture of the building. Brick, stone, or pre-cast stone or concrete chimneys are encouraged.
 - If metal flues for heating or fireplaces are used, they should be encased in appropriate housings.
 - Where metal is exposed at the chimney cap, it should blend in color with the chimney housing or roofing.

Sample residential building design and finishes appropriate for Downtown Waldorf are illustrated below.

The following photos are samples of residential building design and finishes that are appropriate in Downtown Waldorf.



Residential building scale and façade articulation envisioned at Waldorf Central District.



Residential building scale and façade articulation envisioned at Waldorf Central District.



Residential building scale and façade articulation envisioned at Waldorf Central District.



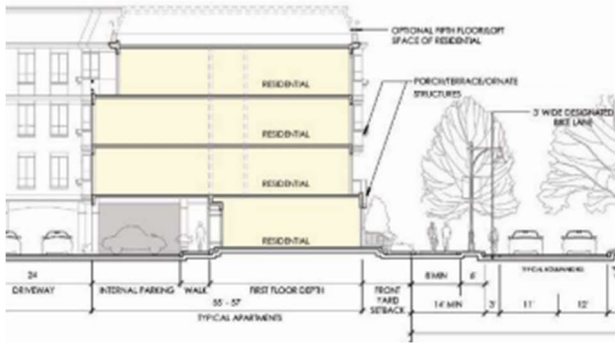
Residential building scale and façade articulation envisioned at Waldorf Central District.



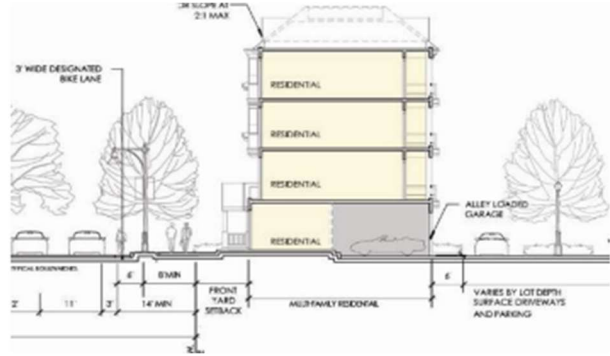
Residential building scale and façade articulation envisioned at Acton Urban Center District.



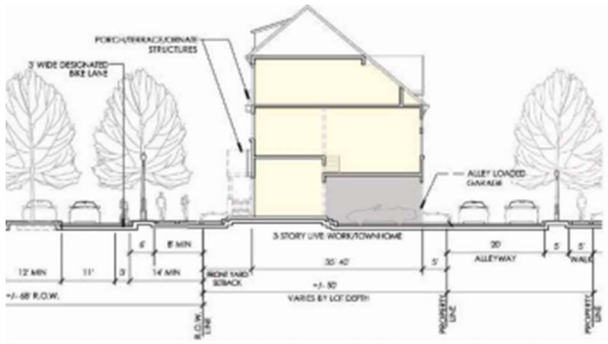
Residential building scale and façade articulation envisioned at Acton Urban Center District.



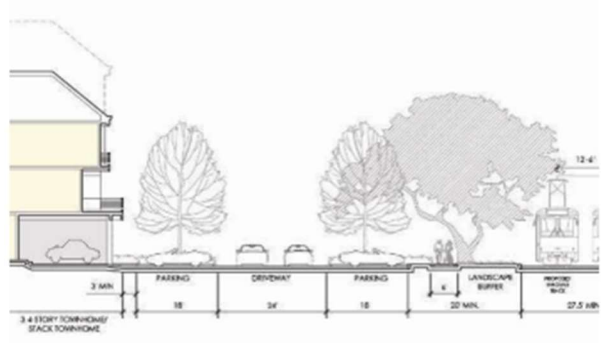
Residential use building scale and façade articulation cross section envisioned throughout Downtown Waldorf.



Residential use building scale and façade articulation cross section envisioned throughout Downtown Waldorf.



Multi-family residential building with integrated parking garage envisioned along new Waldorf Urban Minor Collectors and Waldorf Urban Local Roads.



Backyard setback to accommodate alleyway and landscape buffering zone envisioned along the CSX railroad and future light rail alignment.

IV. Site Enhancements

Signage

i. Location

- **Recommended Standards:**

- On traditional multi-story commercial buildings, signs fit most naturally on the lintel or sign frieze which separates the ground level storefront from the upper façade. In this location the sign serves as a boundary between the two major façade components and helps to strengthen their definition.
- Signs within a block face should be located at approximately the same height to create a unified look.
- No sign or any part thereof, including braces, supports or lights should exceed a height of 20 feet, measured from grade level directly below the face of the sign to the highest part of the sign.

ii. Size, Materials and Message

- **Mandatory Standards:**

- Each sign should be sized in proportion to both the individual storefront and the building as a whole. Signs should not overwhelm or obscure the basic architectural character of the building.
- Sign materials and colors should be compatible and complementary with the building's architectural materials and character. Do not use poorly crafted signs or materials which convey a low-quality image such as plastic panels.
- Limit words on a sign to the name of the business and pertinent information related to its operation. The lettering and logo should be simple, bold lettering with easily recognizable symbols.

iii. Projecting Signs

- **Mandatory Standards:**

- Area and height –The sign face should not exceed 16 square feet in area or 6' in height.
- Quantity – There should not be more than one projecting sign or one ground pole sign, but not both, for each storefront tenant and upper floor business tenant, unless the premise is on a corner lot or has public entrances on two or more public right-of-ways, in which case a set of projecting signs may be erected toward the second public way.

Sample Projecting sign treatments appropriate for Downtown Waldorf are illustrated below.

The following photos are samples of Projecting sign treatments that are appropriate in Downtown Waldorf.



Good example of traditional perpendicular-mounted, hanging wood and banner signs appropriate for Waldorf Central District.



Good example of contemporary perpendicular cut metal sign and three-dimensional sign appropriate for Acton Urban Center District

iv. Wall Signs

- **Mandatory Standards:**

- o Location – Locate wall signs in 1) the ground floor storefront façade, 2) the horizontal base band or sign frieze of the building, or 3) free-standing pinned letters between the first and second floor windows.
- o Position – Center wall signs over a first-floor display window or main doorway entrance. Wall signs may be located on the vertical face of a marquee, but no part of the sign should extend above or below the vertical face. The bottom of a marquee sign should be no less than 10’ above a walkway or grade at any point.
- o Depth – No wall sign should project more than 6” from the wall in which it is mounted.

- o Number – Limit the number of wall signs to one per ground floor tenant unless the premise is located on a corner lot or has public entrances on two or more public right-of-ways, in which case a second set of wall signs may be erected toward the second public way.

Sample Wall sign treatments appropriate for Downtown Waldorf are illustrated below.



Facade sign installed within commercial tablatore envisioned for Waldorf Central District.



Sample of window transom signage.



Refined three-dimensional façade signage appropriate for Acton Urban Center District.



Complementary facade signs installed within the commercial tablatore.



Creative fonts and elements add interest along streetscape.



Both wall and projecting signs may be used if the total square footage is within overall guidelines.

v. **Awning Signs**

• **Mandatory Standards:**

- o Awning signage may be located on the front of the awning face flap or on the sloped surface of awning cover.
- o Limit text on awning flap to a 6-inch height, while the text and logo on the awnings sloped surface may be 6 square feet in area for each awning.
- o The awning canopy should not extend more than 5' from the face of the building façade and should be at least 7' above the ground plane.
- o Number – Limit awning signs to one per building entry and window covering.

Sample Awning sign treatments appropriate for Downtown Waldorf are illustrated below.



Good example of awning signage.



Contemporary style awning signage – South Side Works Development, Pittsburgh, PA



Good example of awning signage used to complement the primary wall signage.

vi. **Window Signs**

• **Recommended Standards:**

- o Center over a primary first floor display window or main doorway entrance.
- o Limit to 8 square feet maximum per storefront with a 2' maximum height.
- o Generally, center the sign within the primary storefront display window, doorway or an overhead window transom.
- o Limit to one window sign per ground level building entry.

Sample Window sign treatments appropriate for Downtown Waldorf are illustrated below.



Good example of window transom signage.

vii. **Tenant Directory Signs**

• **Recommended Standards:**

- o Number – Use only one tenant directory sign per building.
- o Place tenant directory signs in rear yards and shared surface parking lots, not along public streets.
- o Limit to 6' in height and 18 square feet per face, 36 square feet for both faces combined.
- o These signs should be limited to identifying the name of the building and/or the individual enterprises located therein, trademark or identifying symbol or any combination thereof.
- o Design sign from the same materials as the building identity sign or from the architectural theme and style of the street signage.

Sample Tenant Directory sign treatments appropriate for Downtown Waldorf are illustrated below.

The following photos are samples of *Tenant Directory sign treatments* that are appropriate.



Good examples of traditional style, free-standing pedestrian, and vehicular oriented tenant directory signs appropriate for Waldorf Central District.



Good examples of contemporary style, free-standing pedestrian and vehicular-oriented tenant directory signs appropriate for Acton Urban Center District.

viii. Illuminated Signs

- **Mandatory Standards:**

- o Permitted Illumination Types – Individual dimensional word or metal letter, backlit (“halo-effect”) letters. Face lit signage from wall-mounted or ground-mounted light fixtures.
- o Do not use internally lighted signs.
- o Do not use the following types of illumination: 1) Exposed tubing or a series of lights in rows, strings or patterns; 2) Flashing or intermittent lights, or lights of changing degrees of intensity of color or moving copy (exclusive of temporary Christmas and seasonal holiday lighting); and 3) Internally illuminated channel letters with opaque metal sides and white translucent acrylic faces.

Sample Tenant Directory sign treatments appropriate for Downtown Waldorf are illustrated below.



Well-hidden ground-mounted sign illumination.



Good example of direct burial up-light illumination.



Good example of façade signage illuminated from the front.



Good example of hidden LED lighting to illuminate sign with soft indirect glow

Inappropriate Treatments – *Sample illuminated sign treatment inappropriate for Downtown Waldorf is illustrated below.*



Poorly hidden ground-mounted sign illumination

ix. Information Kiosks

- Information kiosks may be permitted on a case-by-case basis. Kiosk housings should be consistent with Downtown Waldorf architectural themes and materials. The graphic parameters will be designed to permit maximum design flexibility on the kiosk faces. The services of a graphic designer are strongly recommended in laying out the kiosk face.

Sample Directory Kiosks Design and treatments appropriate for Downtown Waldorf are illustrated below.



Sample of traditional, monument-style pedestrian directory kiosks appropriate for Waldorf Central District.



Sample of pedestrian-oriented, contemporary wayfinding.



x. Flags

• Recommended Standards:

- o Patriotic or political jurisdiction flags, corporate and nonprofit organization flags should be limited to one each per lot and should not be larger than 6 feet by 10 feet. Flags should be sized in accordance with pole height as follows:
 1. Pole height in feet: 15; 20-25; 30
 2. Flag dimension in feet: 3x5; 4x6; 5x8
- o Pole heights over 30' are not recommended.

xi. Boards

• Recommended Standards:

- o Sandwich boards, restaurant preview and menu boards should be limited to one each per site, not greater than 3' in height or 4' in length.

Sample Sign Banner treatments appropriate for Downtown Waldorf are illustrated below.

The following photos are samples of *Sign Banner treatments* that are appropriate in Downtown Waldorf.



Refined specialty banner signs welcoming visitors to Waldorf Downtown District or a destination building.



Banners can also be used seasonally or designed to celebrate annual events.

xii. Banners

• **Recommended Standards:**

- o Specialty banners are recommended on light fixtures along Waldorf Urban Major Collector or Minor Collector streets. Banners can advertise special events throughout the city, celebrate holidays, and add color.
- o Design banners to be changeable, as opposed to disposable. It is recommended that banner fabrics be marine canvas or vinyl. These fabrics will withstand exposure to the sun, allow air movement through the banner and be resistant to damage by strong winds.

xiii. Public/Regulatory Signs

• **Recommended Standards:**

- o Placement – Signs should have standard locations and be placed far enough from the curb to prevent damage from vehicles. Place signs so that they are not visual or maintenance obstacles.
- o Consolidation – Reduce the number of signs and signposts by pairing and clustering signs.
- o Identity – Develop a signage standard which will distinguish Downtown Waldorf signs from the ordinary utilitarian appearance of public signs. Develop a silhouette design for the top and bottom of standard signs.
- o Attachment – Place signs on signposts. If signs are to be attached to lamp poles, use a bracket which projects the sign away from the post.

- **Optional Standards:**
 - A simple, square straight steel pole in a standard color may be used throughout the Downtown Waldorf area, if consistent with County regulations and/or otherwise approved by the County.

Sample Public/Regulatory sign treatments appropriate.



Grouping of standard regulatory signs adapted to allow use of ornamental fluted poles, frames, and post cap.



Good examples of quality wayfinding signage designed consistent with the overall street furnishing

V. Things to Consider: Public Right-of-Way Enhancements

Benches, Tables, Chairs

Benches offer a place to rest, wait and watch. Placement should depend on identified areas of need and not interfere with pedestrian movement.

- **Recommended Standards:**
 - Color and style should complement and be coordinated with the building and paving materials.
 - Construction should be of contoured, recycled wood, plastic, or metal with the frame and/or end members constructed of heavy metal for quality and durability.
 - Additional LEED Recommendations:
 - Benches should have a high percentage of recycled content.
 - Powder-coating finish should not contain any heavy metals, should be HAPS-free and should have negligible VOCs.

Sample Bench Furnishing treatments appropriate for Downtown Waldorf are illustrated below.

The following photos are samples of *Bench Furnishings* that are appropriate in Downtown Waldorf.



Traditional Style Bench appropriate for Waldorf Central District – Landscape Forms/Victor Stanley



Contemporary Style Bench appropriate for Waldorf Central and Acton Urban Center District – Landscape Forms



Modern Style Bench appropriate for Acton Urban Center District – Landscape Forms



Lighting of Streets and Access Drives

- **Recommended Standards:**
 - Illuminate public streets within Downtown Waldorf using pedestrian-scale streetlights (12 to 14-foot pole height) with a controlled light distribution pattern to minimize excess illumination of adjacent properties.
 - Illuminate private streets, alleys, and access drives using pole-mounted lighting compatible with adjacent architecture. Landscape up-light and down-light accents should be provided, where appropriate.
 - Do not use cobra head streetlights in Downtown Waldorf.
 - Street lighting at intersections should be 20' maximum in height above grade with cutoff reflector luminaires.

Sample traditional lighting styles appropriate are illustrated below.

The following photos are samples of traditional lighting styles appropriate for Waldorf Central Zone.



Traditional aluminum fixture with cut-off to address “Night Skies” initiatives in urban areas – 12’-14’



Streetlights should be designed to accommodate banners and associated wind loads on pole 4” minimum pole diameter.



Traditional Style streetlight fixtures designed with accessory arms to accommodate hanging planters- 20’ height with full cutoff.

The following photos are samples of contemporary lighting styles appropriate for Acton Urban Center Zone.



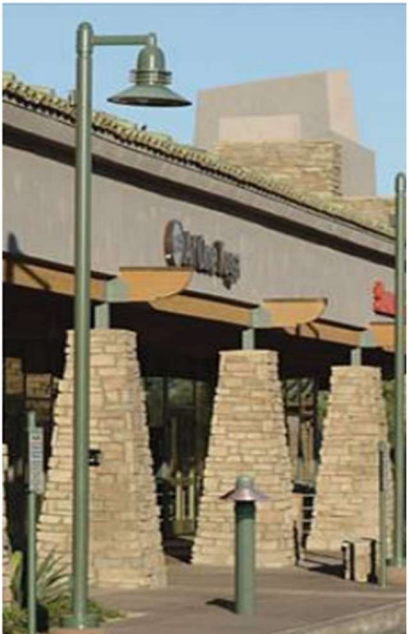
Contemporary Style of Hess Pole Mounted Lighting.



Modern Style of Hess Pole Mounted Lighting.



Contemporary Style of Hess Pole Mounted Lighting and Architectural Area Lighting.



The following photos are samples of Bollard lighting styles appropriate for the Waldorf Central Zone.



Traditional Style of Tal Bollard Lighting



Traditional Style of Landscape Forms Bollard Lighting



Traditional Style of Lumec Bollard Lighting



Traditional Style of Tal Bollard Lighting

The following photos are samples of Bollard lighting styles appropriate for the Acton Urban Center Zone.



Contemporary Style of Lumec Bollard Lighting



Modern Style of Form+Surface Bollard Lighting



Contemporary Style of Lumec Bollard Lighting

The following photos are samples of lighting materials and treatments appropriate for the Downtown Waldorf Zone.



Indirect architectural up lighting should be concealed from view.



Post-mounted Pedestrian Lighting

Pedestrian wall-mounted lighting

Trash Receptacles

Properly designed, trash receptacles can be an attractive sidewalk element. They should be placed in public plazas and parks, bus stops, highly trafficked street corners, and other areas where people congregate. Trash receptacles should also be located outside of food service facilities and convenience stores. They should not be placed where they would interfere with pedestrian or ADA movement.

Recommended materials are stone, pre-cast concrete, and metal. To the extent feasible, trash receptacle colors and materials should complement and be coordinated with adjacent buildings and other site furnishings. Following is recommended features for trash receptacles:

- **Optional Standards:**

- Covered top is preferred.
- Receptacle includes a minimum of 30-gallon capacity polyethylene liner.
- Side or top opening styles.
- Hinged door allows easy access for emptying; opens with toe clip mechanism, latches when closed.
- Free-standing/surface-mounted pads; shipped with glides standard.
- Ash urns formed of 1/8 in. recycled aluminum; hooks onto top rod of receptacle door.
- LEED Recommendation - Litter receptacles should have a recycled material content of 75% or greater of which 50% or greater is post-consumer and 30% or greater is postindustrial. Receptacle liners should be 100% recyclable.

Sample trash receptacles styles appropriate for Downtown Waldorf are illustrated below.



Traditional Style trash receptacle appropriate for Waldorf Town Center Zone – Victor Stanley/Urban Accessories



Contemporary Style trash receptacle appropriate for Waldorf Central and Acton Urban Center Zone – Landscape Forms



Modern Style trash receptacle appropriate for Acton Urban Center Zone – Landscape Forms



Equal Opportunity County

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MISSION STATEMENT: The mission of Charles County Government is to provide our citizens the highest quality service possible in a timely, efficient and courteous manner. To achieve this goal, our government must be operated in an open and accessible atmosphere, be based on comprehensive long and short-term planning and have an appropriate managerial organization tempered by fiscal responsibility.

VISION STATEMENT: We support and encourage efforts to grow a diverse workplace. Charles County is a place where all people thrive, and businesses grow and prosper; where the preservation of our heritage and environment is paramount; where government services to its citizens are provided at the highest level of excellence; and where the quality of life is the best in the nation.